

WELCOME TO

6190 FINLAYSON DRIVE NORTH

\$729,900

6843

SHANE BENNETT

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ROOM SIZES

Living Room 13.2 X 18.4	Dining Room 13.1 X 6.9	Kitchen 13.1 X 8.9	Den 24.5 X 12.5		BATHS 1-2pc, 1-4pc, 1-3pc Ensuite
Primary Bedroom 11.11 X 14.8	Bedroom 11.11 X 9.1	Bedroom 11.11 X 8.10			Storage Basement Crawl Space
Laundry Room 9 X 11				Make: Model: Serial #:	Foyer / Entry 7.5 X 8.2 Deck Rear Deck

HEAT

INSULATION

BUILDING

LOT

Type OIL - HOUSE PROPANE - GARAGE & H/W	Ceiling: R 40	Sq. Ft. 1882	Lot Size 9409
Annual Cost \$9,000.00 - \$10,000	Walls: R 20	Age 1987	Garage Double Attached
Litres Over Last 12 Mo. Approximately	Floor: R	Lot 32 Block 524 Plan 1947 Unit	Parking Double Paved + RV
	Skirting: R		

SPECIAL FEATURES /FURNISHINGS:

Here is a home that truly offers the complete package with RV Parking, a Massive Backyard, a Heated Double Garage, Multiple Living Spaces, an 8-Person Hot Tub, Immediate Possession, and so much more! Welcome to this bright and inviting 3 bedroom, 2.5 bathroom home situated on an impressive 9,400 sq. ft. lot in the highly desirable, family-friendly Frame Lake neighbourhood. Conveniently located close to schools, parks, and walking trails, this is the kind of neighbourhood where families can truly put down roots and children can grow up enjoying everything the area has to offer. From the moment you arrive, you'll appreciate the exceptional parking this property provides. There's ample room for your RV and boat along the left side of the home, parking for 2-3 vehicles on the paved driveway, and even additional space along the right side of the property if needed. Step inside to a spacious tiled front entry featuring a vaulted ceiling that create an impressive first impression. This welcoming space also offers direct access to the heated double garage, which is as organized as it is functional. Complete with extensive cabinetry, a kitchenette setup, and a mounted TV, it's the perfect space to work on projects, entertain friends, or catch the game during the winter months. The home's split-level design offers an excellent balance of openness and separation. Upstairs, you'll find a spacious living room featuring engineered hardwood flooring and a large front window that fills the space with natural light. The open sightline to the foyer below creates an inviting atmosphere and makes it easy to stay connected throughout the home. Just off the living room is the beautifully updated kitchen, featuring brand-new cabinetry, backsplash, sink, and tiled flooring. Overlooking the backyard and enjoying plenty of daytime sunshine, this is a bright space for preparing meals. A short flight of stairs leads to the plush carpeted upper level, where you'll find the spacious primary bedroom complete with a full ensuite bathroom. Two additional generously sized bedrooms and a full main bathroom provide plenty of space for the entire family. Back down on the main level, the large den offers another comfortable living space centered around a 65 inch TV and a cozy WETT-certified wood-burning fireplace. Whether it's family movie nights, a playroom for the kids, or simply a quiet place to unwind, this room offers incredible flexibility. A convenient half bathroom and laundry area complete this level. Step through the rear patio doors into what may become your favourite part of the property. The fully fenced backyard is exceptionally large, private, and enjoys sunshine throughout the whole day. The highlight is the hot tub cabana, home to an inviting 8-person hot tub where the vibe is "no shoes, no shirt, no problems" and you will feel like you are somewhere a lot warmer this winter in this hut. The backyard also features a private deck with built-in flower boxes, creating the perfect setting for summer BBQs and outdoor dining. Beyond the deck, you'll discover a cozy firepit area ideal for gathering with family and friends. Even beyond that, the yard continues with an expansive rear area, providing plenty of room for children to play, dogs to roam, or future landscaping ideas! Combining thoughtful updates, multiple living spaces, outstanding parking, an incredible backyard, and one of Yellowknife's most sought-after family neighbourhoods, this home is ready for its next owners and immediate possession is available. If you'd like to experience everything this property has to offer before it's gone, call or text Shane today at (867) 446-1622 to book your private showing today! **Upgrades (Approx. Ages):** Roof (2026 - to be re-shingled before closing), Hot Water on Demand (2020), Oil Tank (2021), Kitchen Refreshed (2026), New Paint Throughout Home (2026), and Washer/Dryer (2023). **ROOF TO BE COMPLETELY RE-SHINGLED BEFORE CLOSING**
Price Includes: Fridge, Stove, Dishwasher, Microwave, Washer, Dryer, all Window Coverings, Garage Door Opener, Alarm System Hardware (no active subscription), TVs (X2)/TV Mounts (X3), Garage Fridge and Deep Freezer, Hot Tub, Firepit, Drawers (in Laundry Area), and Storage Cabinet (on exterior side of house). ***Current Pre-Sale Home Inspection Report on File***

FOUNDATION

Concrete

PROPERTY TAXES

Amount/yr \$6321.05 2026

Tenure Fee Simple

Fees

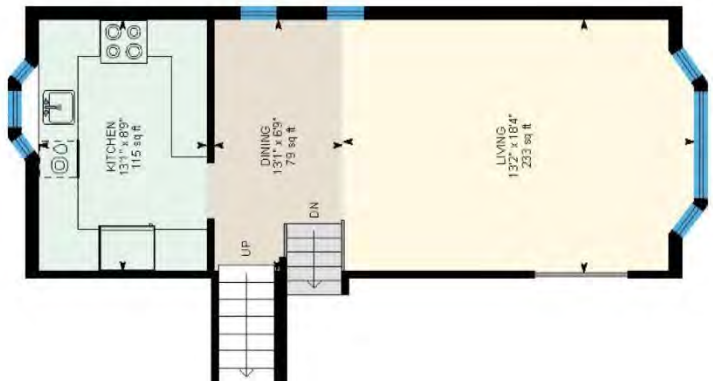
Area FRAME LK SOUTH

6190 Finlayson Dr N, Yellowknife, NT

Main Building: Total Exterior Area Above Grade 1882.45 sq ft



1st Floor
Exterior Area 741.89 sq ft



2nd Floor
Exterior Area 490.22 sq ft



3rd Floor
Exterior Area 650.33 sq ft



PREPARED: 2026/08/11

White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.



